

PREPARED BY:

821 S.E. 16TH PLACE OCALA, FLORIDA 34471

TEL. 352-368-3776

A NEW RESIDENCE FOR:

The Ingram Family Lake Weir, Marion County, Florida

DATE: 3-12-2012

GENERAL NOTES:

- ORDINANCES AND SHALL BE DONE TO THE HIGHEST STANDARDS OF THE
- 2. NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES IN DRAWINGS OR ANY ADVERSE BUILDING CONDITIONS ENCOUNTERED PRIOR TO PROCEEDING WITH
- 3. ARCHITECT IS NOT RESPONSIBLE FOR TERMS AND/OR CONDITIONS OF THE OWNER/CONTRACTOR AGREEMENT. OR THE SUPERVISION OR ADMINISTRATION OF THE PROJECT OR CONTRACT THEREOF.
- 4. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS FOR LAYOUT, ASSEMBLY, AND FABRICATION OF ALL ITEMS FOR THE PROJECT.

5. PROVIDE SHOP DRAWINGS OF PRE-ENGINEERED ROOF TRUSS SYSTEM, BEARING

- THE SEAL OF A REGISTERED ENGINEER LICENSED IN THE STATE OF FLORIDA. 6. THESE DRAWINGS MEET THE MINIMUM REQUIREMENTS FOR APPLICATION FOR BUILDING PERMITS IN MARION COUNTY, FLORIDA, AND ARE NOT INTENDED TO CONVEY ALL COMPONENTS IN SPECIFIC AND EXACTING DETAIL. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR A COMPLETE PROJECT AND ACCEPTANCE BY THE OWNER
- 7. DEVIATIONS FROM THESE PLANS ARE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR UNLESS OTHERWISE APPROVED IN WRITING BY THE ARCHITECT.
- 8. BUILDING SHALL BE CONSTRUCTED WATERTIGHT, WITH ALL JOINTS PROPERLY SEALED AND FLASHED.
- 9. THESE PLANS ARE PROTECTED BY THE LAWS OF THE STATE OF FLORIDA AND THE RULES OF THE DEPARTMENT OF PROFESSIONAL REGULATION. 10. VERIFY ALL SITE UTILITY LOCATIONS WITH EXISTING CONDITIONS AT THE SITE.
- MAINTENANCE, AND ALL CONSTRUCTION MATERIALS, MEANS AND METHODS. 12. ALL CASEWORK AND BUILT-INS, INCLUDING BUT NOT LIMITED TO -WALL AND BASE CABINETS, COUNTER TOPS, DRAWER UNITS, SHELVING,

11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY, SITE

- WARDROBE UNITS, VALENCES AND VANITIES SHALL HAVE SHOP DWGS. SUBMITTED TO OWNER FOR APPROVAL PRIOR TO FABRICATIOIN. 13. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTION OF
- INTERIOR AND EXTERIOR FINISHES W/ ARCHITECTS APPROVAL. 14. ANY NON-STRUCTURAL CHANGES TO THESE PLANS DO NOT REQUIRE SUBMITTAL OF REVISED SIGNED AND SEALED DRAWINGS.

FOUNDATION NOTES:

- 1. FOUNDATION DESIGN IS BASED UPON ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF. NOTIFY ARCHITECT FOR MODIFIED FOUNDATION DESIGN SHOULD OTHER CONDITIONS BE ENCOUNTERED.
- 2. FLOOR SLAB SHALL NOT BE PLACED UNTIL OWNER'S AUTHORIZED AGENT HAS INSPECTED ALL UNDER SLAB COMPONENTS REQUIRED BY OWNER.
- 3. PROVIDE THICKENED EDGE ALL EXTERIOR DOOR OPENINGS.
- 4. BOTTOM OF FOOTINGS SHALL BE ON VIRGIN SOIL UNLESS NOTED OTHERWISE. 5. ALL REINF. BAR LAPS SHALL BE 32 BAR DIAMETERS.
- 6. SUBSURFACE SOILS INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. REMEDIES FOR FOUNDATIONS IN ADVERSE SOIL
- CONDITIONS ARE TO BE AS SPECIFIED BY OTHERS. 7. PROVIDE SEALED 1/2" BITUMINOUS EXPANSION JOINTS AT ALL SLAB/CMU WALL INTERSECTIONS (WHERE SLAB POUR/WALL IS NOT INTERNAL.)
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR CONCRETE SLAB ELEVATIONS, DEPRESSED SLABS, AND PROPER ELEVATION CONTROL FOR SPECIFIC FINISHES
- 9. PROVIDE SAW-CUT CONTROL JOINTS IN BDLG. SLAB AS INDICATED, OR AT 12'-0" O.C. MAX. EACH WAY AND FROM ALL CORNERS. COORDINATE WITH FLOOR FINISHES AND PARTITION LOCATIONS.
- 10. FINISHED, EXPOSED CONCRETE FLATWORK, WITH INTEGRAL OR SURFACE APPLIED ACID STAINS, SHALL BE PLACE ONLY UPON OWNER APPROVAL OF A REPRESENTATIVE SAMPLE. SCORED JOINTS SHALL BE FILLED WITH AN APPROVED, NON-SHRINK GROUT.

FRAMING NOTES:

- 1. THIS DRAWING IS DIAGRAMMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF COMPLETE ROOF STRUCTURAL SYSTEM, PROPERLY
- 2. PROVIDE SHOP DRAWINGS, BEARING SEAL OF FLORIDA LICENSED ENGINEER PRIOR TO FABRICATION OF ROOF TRUSSES & COMPOSITE PREFABRICATED
- WOOD BEAMS. 3. PRE-ENGINEERED ROOF TRUSS MANUFACTURER SHALL PROVIDE PROPER TRUSS HANGERS, BUCKETS, MOUNTING HARDWARE AS REQUIRED BY EACH TRUSS FOR LOADS IMPOSED. ALL FASTENERS, CLIPS, ETC. REQUIRED FOR COMPLETE ROOF STRUCTURE, SHALL BE PROVIDED BY THE TRUSS MANUFACTURER. CONTRACTOR

SHALL VERIFY & INSPECT ALL ROOF TRUSS COMPONENTS FOR COMPLETENESS

PLUMBING NOTES:

- 1. PROVIDE SHOP DRAWINGS OR CUT SHEETS FOR OWNER APROVAL OF ALL PLUMBING FIXTURES AND TRIMS, PRIOR TO PURCHASE OR INSTALLATION. 2. ALL FLOOR DRAINS SHALL BE FIELD LOCATED AND HAVE TRAP PRIMERS.
- 3. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING HOT AND COLD WATER SUPPLY TO ALL SINKS, LAVS AND SHOWERS AND COLD WATER SUPPLY TO HOSE BIBBS, WATER HEATER, REFRIGERATOR, SPA (IF NECESSARY) AND ALL WATER CLOSETS IN PROPERLY SIZED (AND INSULATED WHÉRE REQUIRED), APPROVED H2O SUPPLY PIPING.
- 4. FIXTURE VENTS MAY BE LOOPED TO SINGLE VENT AT PLUMBING CONTRACTOR'S DISCRETION IN ACCORDANCE WITH ADOPTEDNPLUMBING CODE. INSTALL VENTS IN LEAST VISIBLE ROOF LOCATIONS WHERE PRACTICAL.
- 5. PLUMBING CONTRACTOR RESPONSIBLE FOR ALL PLUMBING CONNECTIONS WITHIN 5'-0" OF BUILDING.
- 6. PLUMBING CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL H2O SUPPLY & WASTE PIPING W/ APPROVED FIXTURES, TRIM & FITTINGS.
- 7. ALL PLUMBING WORK SHALL CONFORM TO STANDARDS & PRACTICES SET FORTH IN THE LATEST EDITION OF THE FLORIDA BUILDING CODE, WITH THE LATEST
- 8. PRIMARY WATER SYSTEM PLUMBING SHALL BE C-PVC PIPING. PROVIDE ALTERNATE PRICING FOR PEX FLEXIBLE WATER SUPPLY SYSTEM, OR OTHER PROPOSED PIPING

HVAC NOTES:

- 1. ALL A/C FAN COIL UNITS LOCATED IN BUILDING SHALL HAVE REFRIGERANT LINE SETS AND CONTROL WIRING ROUTED IN PVC CONDUIT UNDER THE FLOOR SLAB. SIZE OF A/C CONDUIT SHALL ACCOMODATE INSULATED LINE SETS PER A/C MANUFACTURER'S REQUIREMENTS.
- 2. HVAC SYSTEM DESIGN & FLORIDA MODEL ENERGY CODE COMPLIANCE WORK SHEETS SHALL BE THE RESPONSIBILITY OF OTHERS UNLESS OTHERWISE

ELECTRICAL NOTES:

- 1. PROVIDE SHOP DRAWINGS OR CUT SHEETS FOR OWNER APPROVAL OF ALL ELECTRICAL DEVICES, EQUIPMENT & LIGHTING FIXTURES PRIOR TO PURCHASE
- 2. VERIFY ALL ELECTRICAL & COMMUNICATION OUTLET & SERVICE LOCATIONS W/ OWNER PRIOR TO INSTALLATION. 3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING OF CONDUIT
- AND ELECTRICAL LINES UNDER SLAB AS REQUIRED. 4. ALL ELECTRICAL WORK SHALL CONFROM TO STANDARDS & PRACTICES SET FORTH IN THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, WITH LATEST AMMENDMENTS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE
- 5. ELECTRICAL CONTRACTOR SHALL FURNISH CONNECTED AND DEMAND LOADING CALCULATIONS FOR FINAL EQUIPMENT SELECTIONS.

FOR COMPLETE AND PROPER ELECTRICAL DESIGN, LOADING AND INSTALLATION

ELECTRICAL NOTES (CONTINUED)

- 6. VERIFY OWNER'S REQUIREMENTS FOR SECURITY, SOUND AND IRRIGATION
- 7. PROVIDE WHOLE HOUSE SURGE PROTECTION AHEAD OF ELECTRICAL SERVICE
- 8. CONTRACTOR SHALL VERIFY W/ OWNER ALL FIXTURE LOCATIONS, TYPES AND HEIGHTS PRIOR TO INSTALLATION.
- 9. PROVIDE ELECTRONIC BALLAST AND WARM WHITE LAMPS IN ALL FLOURESCENT LIGHT FIXTURES, UNLESS NOTED OTHERWISE. PROVIDE DIMMING BALLASTS AS INDICATED ON THE DRAWINGS.
- 10. PROVIDE DIMMING IN ALL INCANDESCENT CIRCUITS (WHERE PRACTICAL.) 11. SMOKE DETECTORS MAY NOT BE INDICATED ON ELECTRICAL PLAN. PLACE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM, KITCHEN, MUD ROOM, AND PANTRY. PLACE ONE CO1 DETECTOR IN ANY SPACE WITH GAS APPLIANCES.

STANDARDS FOR HURRICANE RESISTANCE

- GABLE END STUDS ARE TO BE OF SPECIES AND GRADE TO MEET THE FOLLOWING REQUIREMENTS: SEE PLANS (IF APPLICABLE) FOR SIZES

- AND LOCATIONS. STUD LENGTH OF 16' - GRADE SHALL MEET Fb OF 2450
- STUD LENGTH OF 14' GRADE SHALL MEET Fb OF 1850
- STUD LENGTH OF 12' GRADE SHALL MEET Fb OF 1350
- STUD LENGTH OF 10' GRADE SHALL MEET Fb OF 950 STUD LENGTH OF 8' - GRADE SHALL MEET Fb OF 600

DESIGN STANDARDS

110 MPH 30 PSF LIVE LOADS DEAD LOADS 17 PSF

NOTE: ALL OTHER LOADS TO BE ACTUAL MATERIAL WEIGHT.

1. Wind zone as per Chapter 16 is 110 M.P.
(Nominal Design - 3 Second Gust)
Building Location:

- SEE SITE PLAN ON SHT. S-1
- Wind Exposure is B.
- 4. Internal Pressure Coefficient = +/- .18
- All work shall conform to the Florida Building Code, latest adopted edition.

MEAN ROOF HEIGHT (MRH)	30 FEET			
BASIC WIND SPEED	110 M.P.H.			
ZONE	ALL ZONES	INTERIOR ZONE	EDGE STRIP	
SIZE OF WINDOW, OR DOOR, A (SQ. FT.)	POS (+)	NEG (-)	NEG (-)	
0 < A < 10	21.8	-23.6	-29.1	
10 < A < 20	20.8	-22.6	-27.2	
20 < A < 50	19.5	-21.3	-24.6	
50 < A < 100	18.5	-20.4	-22.6	
100 < A	16.2	-18.1	-18.1	
FBC 2007 w/ 2009 revisions				

	PRECAST LINTEL SCHEDULE						
NBR	LINTEL SIZE	SPAN	GRAVITY	UPLIFT	QTY	TYPE	
L-1	3'-7" x 8" x 8"	2'-3"	3915	4619	3	FILLED	
L-2	4'-10" x 8" x 16"	3'-6"	9124	9278	2	COMPOSITE	
L-3	5'-10" x 8" x 8"	4'-6"	1477	1622	1	FILLED	
L-4	6'-6" x 8" x 8"	5'-2"	1240	1358	1	FILLED	
L-5	8'-11" x 8" x 8"	7'-7"	793	852	1	FILLED	
L-6	10'-4" x 8" x 8"	9'-0"	646	692	1	FILLED	
L-7	11'-4" x 8" x 8"	10'-0"	568	609	2	FILLED	
L-8	17'-4" x 8" x 16"	16'-0"	910	639	1	COMP. & P/S	
L-9	13'-1" x 8" x 16"	17'-4"	783	554	1	COMP. & P/S	
L-10	15'-4" x 8" x 16"	18'-0"	719	511	1	COMP. & P/S	
DOOR	LINTELS:						
L-11	4'-8" x 8" x 6"	3'-4"	1169	1407	2	FILLED	
L-12	6'-8" x 8" x 6"	5'-4"	698	795	3	FILLED	
L-13	7'-6" x 8" x 6"	6'-2"	604	674	2	FILLED	
L-14	10'-4" x 8" x 6"	9'-0"	N/A	N/A	1	FILLED	

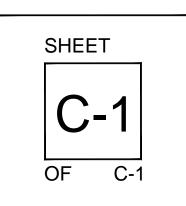
NOTE: LOAD TABLES PROVIDE BY MARION MASONRY MATERIALS DATED MARCH 2009. REFERENCE FLORIDA PRODUCT APPROVAL NUMBER FL12193. ++NOT ON LOAD TABLE - CONTACT MFR FOR GRAVITY & UPLIFT.

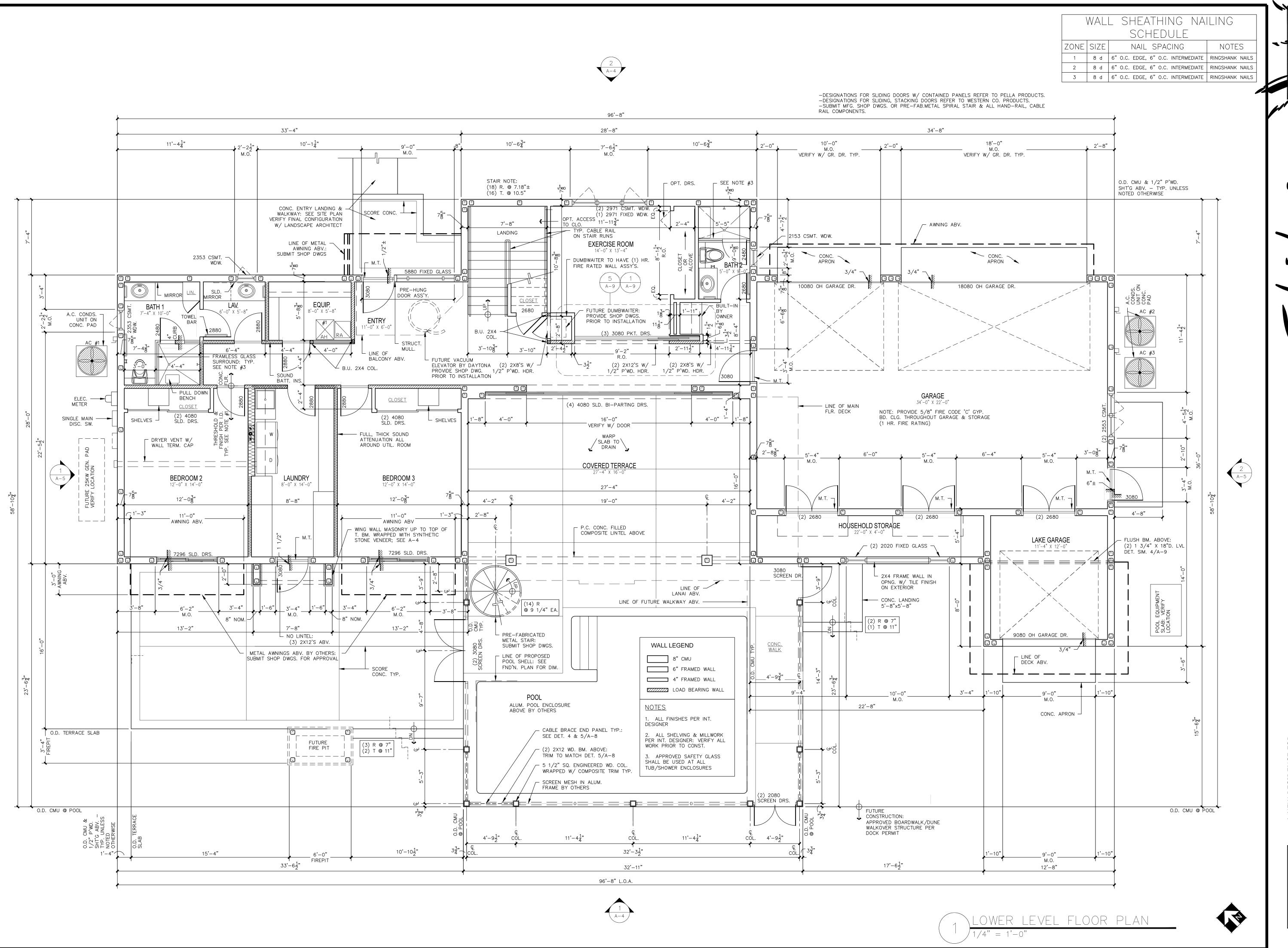
EXTERIOR HEADER SCHEDULE (FOR BUILDING W/ ROOF & CEILING)							
	BUILDING WIDTH (FEET)						
	2	20		28		36	
SIZE	SPAN	NJ	SPAN	NJ	SPAN	NJ	
2 - 2x4	3-6	1	3-2	1	2-10	1	
2 - 2x6	5-5	1	4-8	1	4-2	1	
2 - 2x8	6-10	1	5-11	2	5-4	2	
2 - 2x10	8-5	2	7-3	2	6-6	2	
2 - 2x12	9-9	2	8-5	2	7-6	2	
3 - 2x8	8-4	1	7-5	1	6-8	1	
3 - 2x10	10-6	1	9-1	2	8-2	2	
3 - 2x12	12-2	2	10-7	2	9-5	2	
4 - 2x8	7-0	1	6-1	2	5-5	2	
4 - 2x10	11-8	1	10-6	1	9-5	2	
4 - 2x12	14-1	1	12-2	2	10-11	2	

REF FBC 2007 RESIDENTIAL TABLE R502 4(1). FOR WIDTH BETWEEN THOSE SHOWN, SPANS ARE PERMITTED TO BE INTERPOLATED. NJ - NUMBER OF JACK STUDS REQUIRED TO SUPPORT EACH END.

SHEET LEGEND				
NO.	DRAWING DESCRIPTION	REMARKS		
C-1	COVER SHEET			
S-1	SITE PLAN			
A-1	FOUNDATION PLAN			
A-2	LOWER LEVEL FLOOR PLAN			
A-3	MAIN LEVEL FLOOR PLAN			
A-4	EXTERIOR ELEVATIONS			
A-5	EXTERIOR ELEVATIONS			
A-6	FLOOR FRAME PLAN			
A-7	ROOF FRAME PLAN			
A-8	SECTIONS & DETAILS			
A-9	SECTIONS & DETAILS			
A-10	TYPICAL DETAILS			
A-11	TYPICAL DETAILS			
A-12	LOWER LEVEL ELECTRICAL PLAN			
A-13	MAIN LEVEL ELECTRICAL PLAN			

AREA SQ. FT.	
OWER LEVEL: ONDITIONED OVERED TERRACE ARAGE/STORAGE	1,494 SF 484 SF 1,087 SF
AIN LEVEL: ONDITIONED OVERED TERRANCE PEN DECK	2,414 SF 594 SF 140 SF
OTAL SQUARE FOOTAGE	6,237 SF





, INC.

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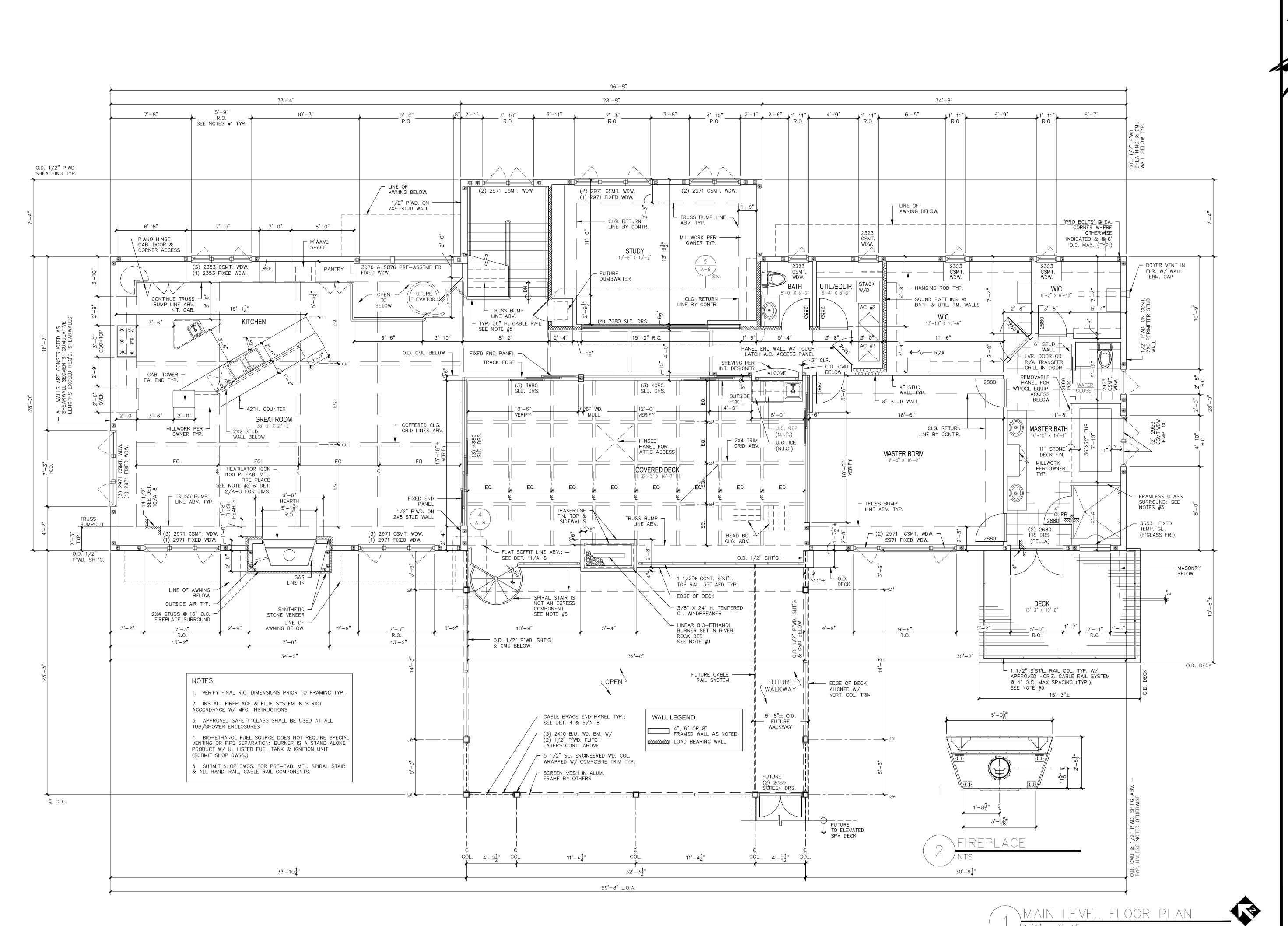
The Ingram Family

Lake Weir, Marion County, Florid

SHEET

A-2

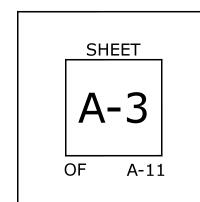
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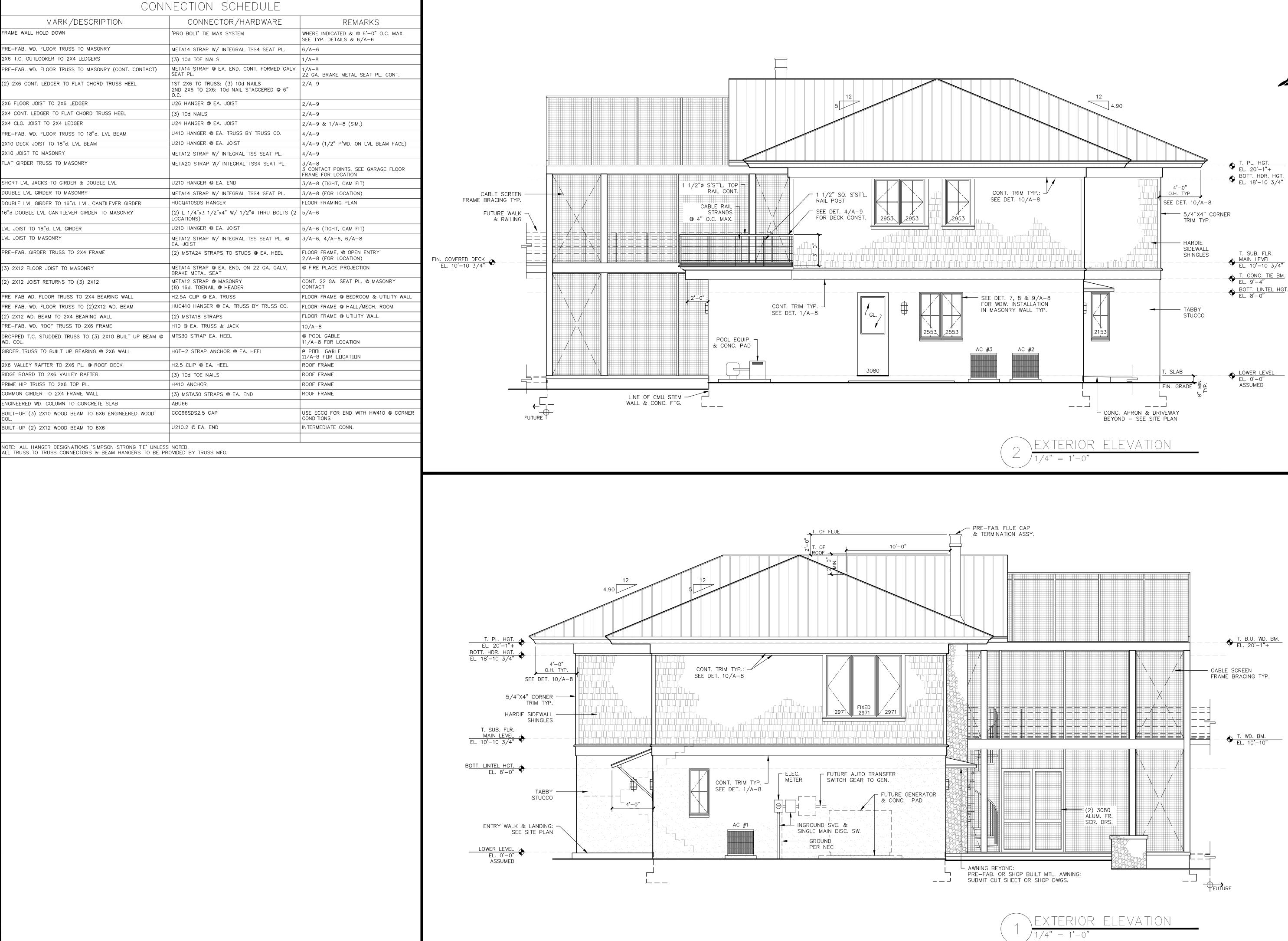
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